

Interim Planning Guidance Note 2

Extensions to Dwellings



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FOREWORD

The current Mansfield District Local Plan was published in 1998, and was intended to guide development in the district until 2006. Legislative changes mean that the Local Plan will be replaced by a number of Local Development Documents (LDDs) collectively known as the Local Development Framework (LDF), with preparation work currently under way. It is unlikely that the new LDF will be published before 2008.

This advice note relating to extensions to dwellings is intended to provide interim planning guidance in the period prior to the adoption of the relevant LDD which will include new policies on extensions. This advice note sets out the Council's requirements for extensions to dwellings, providing advice for developers based on best practice. The advice note will be taken into account as a material consideration in the determining of planning applications.

It is envisaged that the contents of this advice note will subsequently be incorporated within a Supplementary Planning Document (SPD) after the adoption of the Local Development Document.

Extending your home may be an expensive project, but it is often the most practical way to meet changing family needs. Your house is a valuable asset and, as such, I recommend that you give careful consideration to how it should be extended, how it will look as a result of any extensions and the likely impact on both the locality and your neighbours. To assist all those involved in the development process, the Council has prepared this Interim Planning Guidance Note, offering guidance relating to acceptable forms of development. To avoid potential disappointment and possible delays in receiving planning permission, I recommend that you study this document. By basing your proposal on the advice given, it is more likely that an acceptable and desirable form of development will result.

Christine Smith
Chairman Planning Committee

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1.0 ABOUT THE ADVICE NOTE

- 1.1 This document was formally adopted by the Council on 14th November 2006.
- 1.2 This Advice Note sets out the Council's requirements towards the development of extensions to dwellings and will be taken into account as a material consideration in determining planning applications.

2.0 INTRODUCTION

- 2.1 Not all extensions to dwellings will require planning permission, although most will require approval under the Building Regulations, which is concerned with ensuring any alterations/extension of your dwelling is undertaken in a safe and satisfactory manner. To find out if you need to apply for either building regulation approval or planning permission, it is advisable to contact the District Council with details of the proposal. You may be requested to complete a simple questionnaire (HE1), so that you can be advised accordingly. Even if planning permission is not required, many of the guidelines contained in this document should be considered as good practice, as they may even result in your home, when extended, being increased in value.
- 2.2 It is now a common practice where additional or improved accommodation is required, for householders to extend or alter their homes rather than move. The aim of this document is to set out guidelines for householders, agents and the Council, to assist in the formulation and processing of householder planning applications.
- 2.3 In general terms, the Council aims to make certain that when a dwelling is extended, it is carried out in a sympathetic manner which complements and enhances, not only the appearance of the building but the surrounding area too. It also aims to ensure that the extension appears to be part of the original dwelling, rather than an after-thought and that any proposal does not have a detrimental impact on the amenities of the occupiers of neighbouring properties.
- 2.4 While the general guidelines in this document will normally apply, in some instances, where a building is Listed, in a Conservation Area or is of architectural value, then the Council will require special care and attention to detail when extensions are proposed. It is therefore advisable to contact the Development Control Service regarding your proposal at an early stage, for specialist advice. In other instances, these guidelines may appear inappropriate due to particular circumstances and in such cases it is again advisable to contact the Development Control Service via a letter and a drawing, prior to the submission of an application for an indication as to how the guidelines will be applied. (Telephone 01623 463069 or e-mail pbcc@mansfield.gov.uk).

- 2.5 Each application will be considered on its own merits, having been judged against policy H13 of the Adopted Mansfield District Local Plan or any subsequent policy which may replace this in the Local Development Document.

Policy H13 of the Local Plan states:

PLANNING PERMISSION, IF REQUIRED, WILL BE GRANTED FOR THE EXTENSION/ALTERATION OF EXISTING DWELLINGS, INCLUDING SEPARATE BUILDINGS WITHIN THE CURTILAGE FOR HABITABLE OR OTHER INCIDENTAL PURPOSES PROVIDED THEY WOULD MEET BOTH OF THE FOLLOWING CRITERIA:-

- 1) NOT HAVE A DETRIMENTAL EFFECT ON THE CHARACTER AND / OR APPEARANCE OF THE STREET SCENE OR THE SURROUNDING AREA GENERALLY;**
- 2) NOT LEAD TO A REDUCTION IN RESIDENTIAL AMENITY FOR ADJACENT OCCUPIERS DUE TO SUCH FACTORS AS LOSS OF LIGHT/SUNLIGHT, OVERLOOKING, NOISE, ETC.**

- 2.6 This guidance looks at four main areas which will play a major role in reaching a decision on the acceptability or otherwise of a proposal while meeting the requirements of the above policy. These are as follows:

- THE EFFECT THE EXTENSION WILL HAVE ON THE APPEARANCE OF THE EXISTING BUILDING**
- THE EFFECT THE PROPOSAL WILL HAVE ON THE AMENITIES OF THAT PROPERTY**
- THE IMPACT OF THE EXTENSION ON THE IMMEDIATE NEIGHBOURING PROPERTIES**
- THE EFFECT OF THE EXTENSION ON THE STREET SCENE.**

3.0 THE EFFECT THE EXTENSION WILL HAVE ON THE APPEARANCE OF THE EXISTING BUILDING

DESIGN

- 3.1 It is important that any extension is sympathetically designed to complement the character and appearance of the existing dwelling and the surrounding neighbourhood. Certain types of extensions can look out of place and unsightly if so large as to dominate a building or where the proposal would relate poorly to the original design of the dwelling. The basic design principle to follow is that extensions should respect the style of the original house and be in keeping with the character of the neighbourhood.

3.2 When designing an extension, consideration should be given to features such as: -

- a) ROOF-TYPES;
- b) EXTERNAL MATERIALS TO BE USED;
- c) WINDOWS AND DOORS (INCLUDING THEIR LOCATION, SIZE AND DESIGN);
- d) SIZE AND POSITIONING OF THE EXTENSION AND BUILDINGS WITHIN THE PLOT;
- e) ITS SIZE IN RELATION TO THE EXISTING BUILDING;
- f) DECORATIVE DETAILING.

a) **ROOF TYPES**

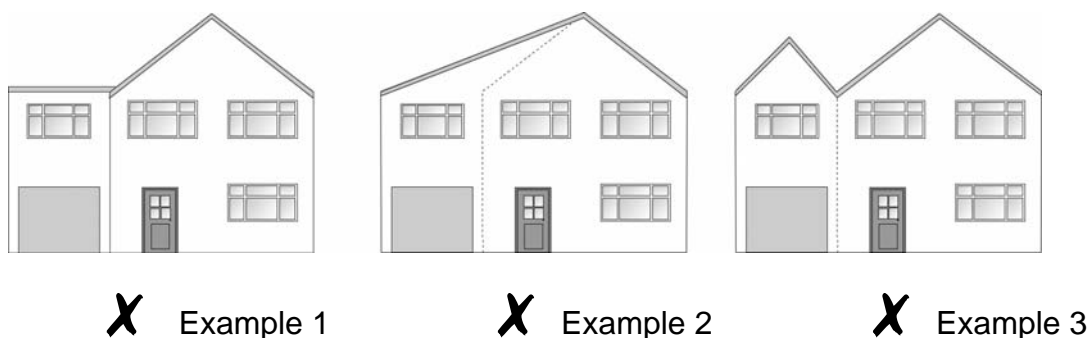
3.3 It is important that the roof of any extension reflects the character of the existing roof style, especially in cases where proposed extensions are in prominent positions within a plot or can be seen from the highway. If the existing dwelling incorporates a pitched roof, a pitched roof will be required to be incorporated into any proposed scheme. Flat roofed single or two-storey extensions will not normally be granted planning permission particularly if they are in a prominent position within the street scene. The incorporation of a flat roof into a scheme, is a short-term solution to roofing a building, leading to frequent maintenance problems. Therefore, in the long term a pitched roof is much better value for money, as well as looking better.

Right: A two storey flat roofed extension that is in a prominent position within the street scene will not be acceptable. The design can be much improved by the incorporation of an appropriately pitched roof and will often make a proposal acceptable.



Left: The design can be much improved by the incorporation of a pitched roof.

- 3.4 Extensions which radically alter the shape of a house or roof are not acceptable. For example:-



- 3.5 The flat roof in example 1 is an ugly and inferior form of construction, and is visually and physically at odds with the pitched roof. The unequal roof pitch created by the extension in example 2 unbalances the whole elevation, whilst the proportions and roof pitch of the extension shown in the third are incompatible with the original.



- 3.6 Example 4 and 5 are appropriate roof designs and likely to be considered more favourably.

b) EXTERNAL MATERIALS TO BE USED

- 3.7 When constructing extensions, it is important to ensure that the materials used will blend, in visual terms, with those of the original building. In some instances it will be desirable to match materials exactly, whilst in other cases the use of contrasting materials may be appropriate. In all instances these should clearly harmonise with the dwelling's original character. Factors such as size, texture, colour and weathering qualities will also be important. A set back can often help when the exact match of materials cannot be used and will also avoid problems of unsightly bonding.

Right: Inappropriate materials can increase the impact of an extension, especially in cases where the design is unsympathetic. But with a few minor adjustments, any scheme could be much improved





Left : With care, good design and appropriate use of materials, even older properties can be extended in a sympathetic manner. Note how the window design and positioning reflect those of the existing building.

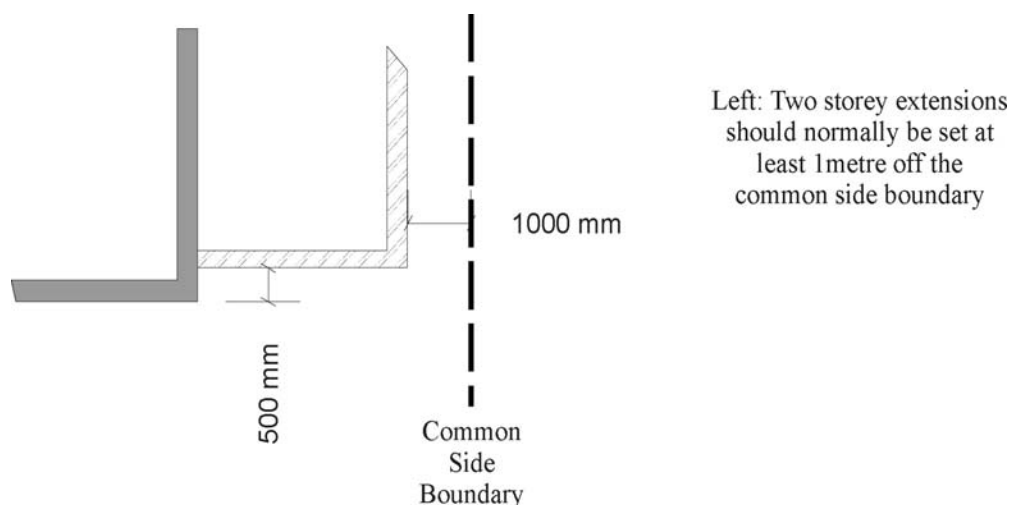
c) WINDOWS AND DOORS (INCLUDING THEIR LOCATION, SIZE AND DESIGN)

- 3.8 To maintain the character of a building and ensure that extensions do not look out of place, it is important that openings (doors and windows) are well-proportioned, achieve a balanced appearance and relate to those in the existing building, in terms of size and design. Replacement doors and windows should be carefully chosen to reflect the character of the existing property. This can be particularly important in the case of terraced or semi-detached properties, where the character and visual quality of an entire street frontage can be adversely affected by change to an individual property. Another important feature of windows is the heads and sills, which will have their own patterns and often alternative materials and these too must be reflected in the design of new window and door openings.
- 3.9 Where there is a need to use obscure glass to prevent overlooking both in and out, the minimum, obscuration level must be at least Pilkington level 4 or equivalent.

d) SIZE AND POSITIONING OF EXTENSIONS AND BUILDINGS WITHIN THE PLOT

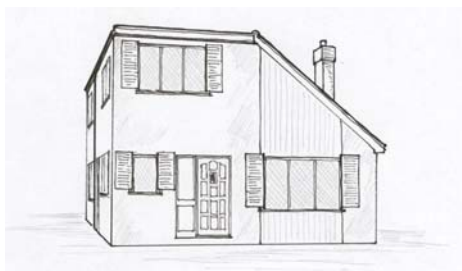
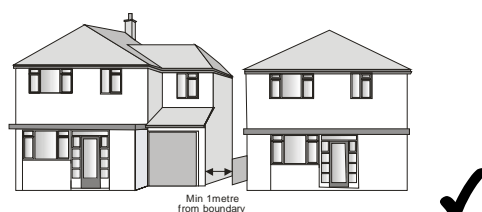
- 3.10 The positioning of an extension, or the location of additional buildings within the grounds of a property will be of major importance in terms of the visual appearance of the site and of the street scene in general.
- 3.11 Particular care must be taken when considering side extensions. These must be designed sympathetically using matching materials and incorporating any special or decorative features of the original dwelling. Two-storey side extensions can often result in giving the appearance of terracing, to the detriment of residential and visual amenity, when built up to a common side boundary. Therefore, two-storey side extensions will not be acceptable within one metre of a common side boundary where the appearance of terracing will result. In some instances this requirement may be relaxed if the proposal is adjacent to the rear boundary of an adjacent property and will not have any adverse impact on residential or visual amenity. In all cases the design of the proposal shall incorporate a setback (as detailed below) at first floor level and is of an appropriate design so it has a subordinate appearance to the

main dwelling. Depending on existing design features such as quoins, the setback may also be required at ground floor level.



- 3.12 Each application will be considered on its own merits and there may be instances which will enable variations to the above to be considered particularly where relations with adjacent properties will not result in terracing.

Right : A two-storey extension to a common side boundary resulting in poor visual appearance through creating a terracing effect will not be acceptable. To overcome this and allow access to the rear, two storey extension must be set a minimum of 1 metre off the boundary.

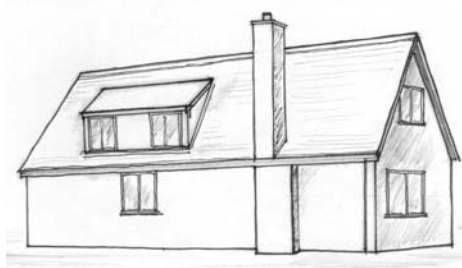
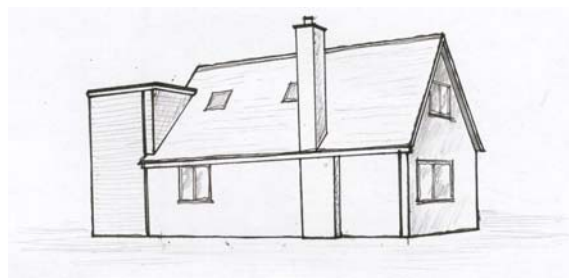


Left : Two-storey prominently located extensions can be out of character and visually intrusive within the street scene. This proposal could be improved by the incorporation of a pitched roof and dormer window.

- 3.13 An extension to the rear of a property is not always visible except to the inhabitants of neighbouring properties and it is often the most practical way to achieve additional accommodation. Even so, care still needs to be taken when designing such extensions, which should incorporate decorative features, windows and doors to match the existing. Where rear extensions are visible from a highway, they will not normally be considered favourably if they do not incorporate a pitched roof. Pitched roofs will be encouraged on all developments which offer benefits in terms of maintenance as well as appearance.

Right : An inappropriate rear extension, which is out of character and not acceptable. A similar amount of accommodation could be achieved by the incorporation of a sympathetically designed dormer window

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e) ITS SIZE IN RELATION TO THE EXISTING BUILDING

- 3.14 Proposed extensions should not be of such a size that they are over dominant or out of scale in relation to the existing dwelling and should normally be subordinate to the main structure. Existing eave heights should not be exceeded and any extension should not normally project above the existing ridge as this is likely to spoil the balance and character of the original dwelling and be detrimental to the street scene.



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Left , A two-storey side extension on a prominent corner plot which is over dominant and out of scale with the existing dwelling.

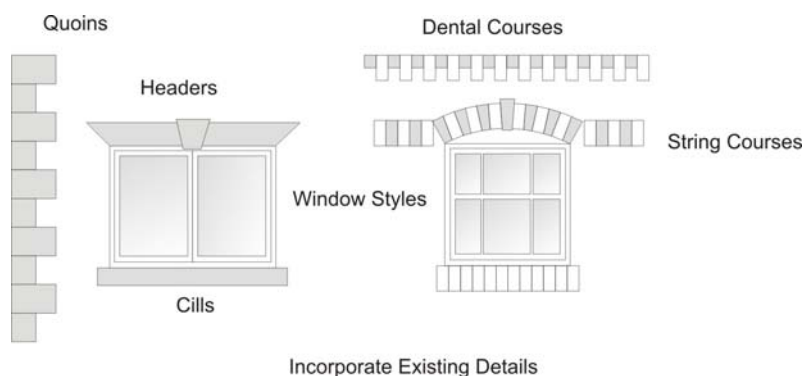
- 3.15 Where a side extension is proposed to an end terraced or semidetached property, the extension should be subordinate to the main building, be set back from the front wall by at least ½ metre and the ridge height proportionally reduced.



- 3.16 Side extensions should be subordinate to the main dwelling and not a dominant element of the building.

f) DECORATIVE DETAILING

- 3.17 A wide variety of decorative detail can be found on many dwellings in the district, such as patterned brickwork, different brick bonding, string courses, eaves, cornices, lintels, sills, quoins etc, all adding to the character and individuality of a dwelling. These details need to be carried through into any extension in order to maintain the character of the dwelling, as well as assisting to integrate the extension with the original building. Where quoins exist and extension should be set back from the front wall so as not interfere with the patterning of the quoins.



4.0 THE EFFECT THE PROPOSAL WILL HAVE ON THE AMENITIES OF THE PROPERTY TO BE EXTENDED

- 4.1 It is important to retain an adequate standard of amenity within the boundaries of the property, including possible or existing garage/parking spaces. To ensure that a satisfactory standard of amenity is maintained, consideration will be given to the effect any proposal will have on:

- a) RESULTANT SIZE OF PRIVATE REAR GARDEN AREA;
- b) GARAGE SPACE AND CAR STANDING AREA;
- c) LOSS OF TREES AND/OR HEDGES.**

a) PRIVATE REAR GARDEN AREA

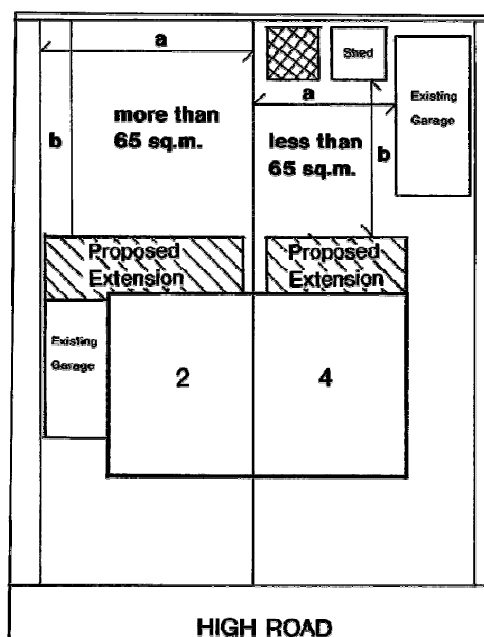
- 4.2 Garden areas are an important factor in avoiding over development of a site and also to provide an appropriate private amenity/garden area within the curtilage of a property. Any proposal must take this into consideration, as the Local Planning Authority would require an adequate level of private amenity/garden area appropriate for the particular type of property being extended.
- 4.3 The Council's guidelines on minimum private rear garden sizes will be a consideration in determining any application (see table).
- 4.4 Any extension incorporating a principal window, shall maintain a distance of at least 8m between at window and any private rear or side boundary. This requirement may be relaxed if substantial screening exists, which can be kept along the respective boundary.

Minimum recommended size for private rear gardens (excluding the area covered by outbuildings or garages)	No. of Bedrooms	Min. area required
	1	45sqm
	2	55sqm
	3	65sqm
	4 and above	75sqm

- 4.5 The resultant garden area must also be usable and not fragmented by buildings within the curtilage of the dwelling.

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No.2 High Road, a 3 bedroomed house, retains an adequate amount of usable garden area and is therefore acceptable.

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No.4 High Road, a similar sized property, once extended would have a rear garden area less than the required amount and would not be normally acceptable.

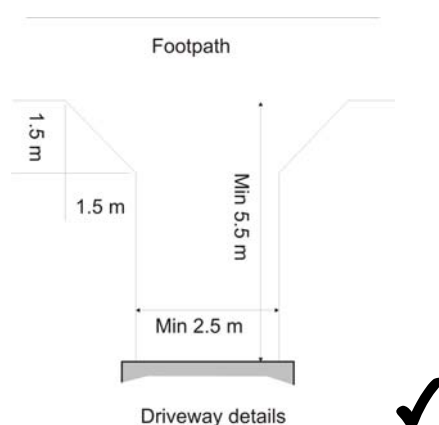


A proposal which reduces the private rear garden area to less than the minimum areas indicated will not be normally permitted. These figures exclude the area covered by outbuildings, and the remaining garden area should all be usable.

- 4.6 However, it is accepted that the construction of a conservatory could add to the amenity value of a garden, enabling its enjoyment throughout the year. Therefore, dependant on the size, design and impact on the occupiers of adjoining properties, small conservatories may be allowed where a more traditional extension may not.

b) GARAGE SPACE AND CAR STANDING AREA

- 4.7 Where possible, vehicles must be parked off the highway. When a proposed extension includes the provision of a new garage, there should be at least 5.5m between the front of the garage and the back edge of the footway. This will allow sufficient space to park a car clear of the highway and permit the cleaning, loading and unloading of the vehicle without obstructing the highway, and provide an additional space for use by visitors or to accommodate a second car.
- 4.8 Where a new access is created onto a highway, to enable both the motorist and the pedestrian to see one another in good time, 1.5m x 1.5m visibility splays should be provided at the back of the footway whenever practicable.



- 4.9 The loss of a garage/parking space would be likely to lead to an increase in on-street parking to the general detriment of highway safety. Extensions will not normally be permitted if they result in the loss of off-street parking facilities, unless adequate alternative space is available within the application site. The creation of a hard standing on the front of a property can be unsightly and intrusive in the street scene, therefore if such is provided as part of any development, the use of appropriate surfacing materials and landscaping details will need to be submitted as part of the application.
- 4.10 As with any other extensions, the addition of a garage will be the subject of the same design and size considerations.

c) LOSS OF TREES OR HEDGES

- 4.11 Trees and hedges provide a welcome visual amenity to the environment, and their loss should be avoided. Extensions which necessitate the removal of trees or hedges which are protected or considered an important element within the street scene, will not normally be considered favourably. Where a

proposal does result in the loss of trees or hedges, details of a scheme of replacement planting should be provided as part of any planning application.



Left: Trees are an attractive feature in a street scene and should be retained.



5.0 IMPACT OF EXTENSIONS ON THE IMMEDIATE NEIGHBOURING PROPERTIES

- 5.1 It is important to achieve a reasonable balance between the interests of those wishing to extend a property and the interests of the occupiers of adjoining residential accommodation, present or future. This can be done by ensuring that new buildings or extensions would not seriously affect the outlook from or daylight to the neighbouring dwelling. Each proposal will be considered on its own merits, but in certain cases more care needs to be taken and tighter controls required to ensure a satisfactory form of development. Although these controls will apply to all types of dwellings, it will be more appropriate in the case of rear extensions to semi-detached and terraced properties, where even the smallest extension can have an unacceptable impact on an attached property. Because of this, the normal maximum depth of extension acceptable is 2.5m. Projection beyond 2.5m will only be allowed if the proposal complies with a simple 45° test (see below). It is also necessary to avoid building any extension up to a boundary, as this could have an adverse impact on neighbouring properties as well as create problems of access for maintenance.

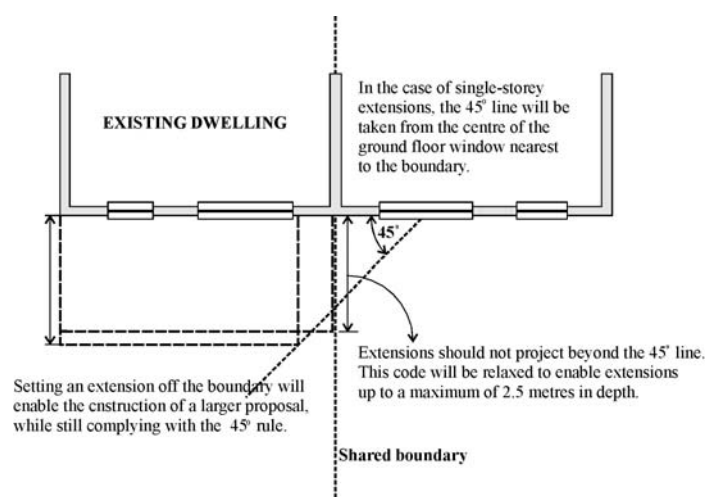
a) THE 45° TEST

- 5.2 This is a general test that will be applied as a guide to what will be acceptable for extensions to dwellings and is applied to reduce the impact of an extension on sunlight/daylight reaching neighbouring properties. In some circumstances it may be necessary to make a detailed calculation to establish the impact of a proposal on adjoining occupiers in terms of loss of daylight/sunlight to a property. The calculation used is detailed, but generally based on the 45° test, this will be applied both vertically and horizontally, (see two storey example below).
- 5.3 The 45° test will be applied to the nearest window of any adjacent residential accommodation which lights a habitable room or kitchen. To comply with the rule, when applied to single storey extensions, any extensions should be designed so as not to cross a 45° line, when drawn from the mid-point of the nearest window opening of the adjacent dwelling. In the case of two-storey

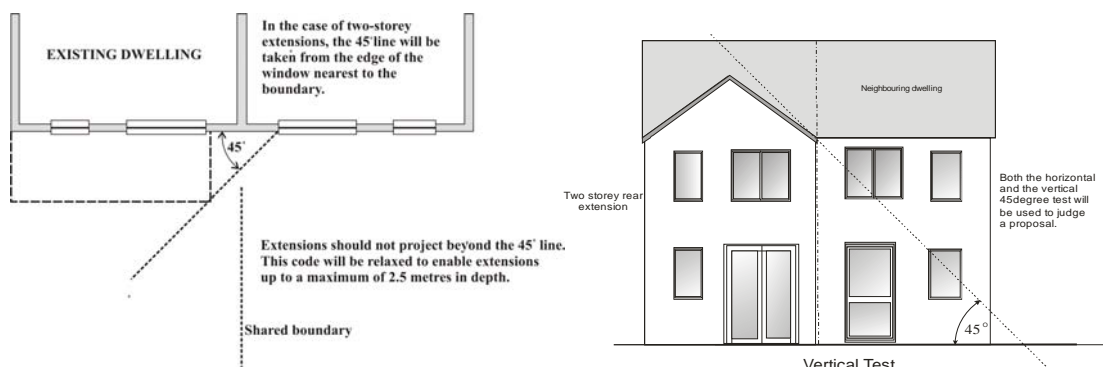
extensions, the 45° line would be drawn from the closest edge of the nearest window. In those cases where the applied 45° test results in any possible extension being less than 2.5m, then the rule may be relaxed to permit an extension up to a maximum of 2.5m in depth, but only if, it does not result in the level of light reaching any nearby window of a habitable room being reduced to an unacceptable level. This distance of 2.5m will be measured from the rear wall of the original i.e. unextended dwelling house.

APPLICATION OF THE 45° TEST.

Single Storey Extensions



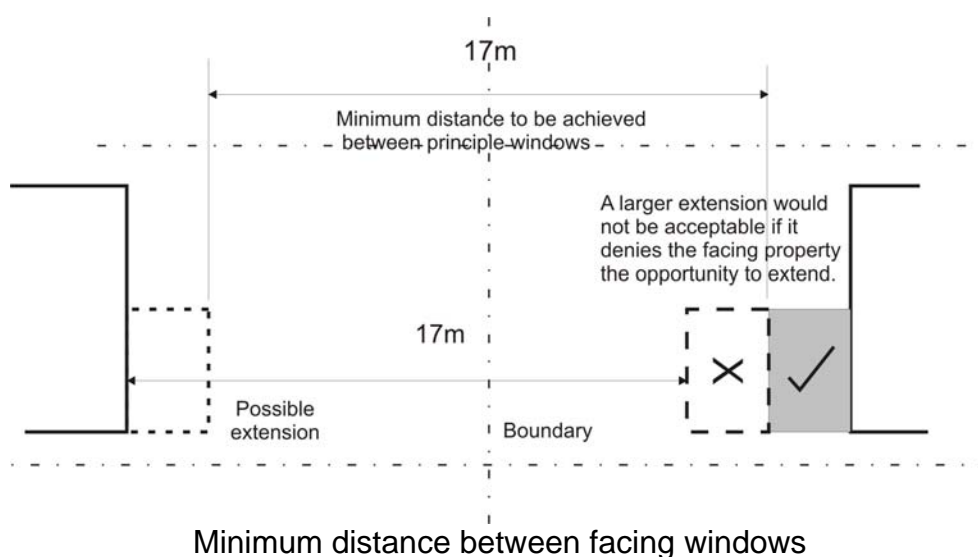
Two Storey Extensions



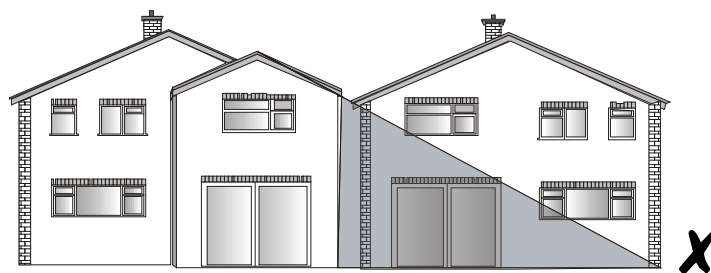
- 5.4 There may be mitigating circumstances where this test may not apply, as each proposal is considered on its own merits. Such circumstances may include existing boundary screening, orientation, roof design, the distance between the extension and neighbouring dwellings and variation in levels. Where screening exists, this must be retained as a mitigating feature and may be subject of a condition if planning permission is granted to ensure that this is the case. Notwithstanding the 45° test for sunlight/daylight, an assessment will also be made with regard to whether a proposed extension would have an overbearing impact on adjacent dwellings.

c) **OVERSHADOWING AND OVERLOOKING**

- 5.5 No extension which includes a principal window shall project to within 8 metres of a common boundary (rear or side) with another dwelling where that window faces the said boundary, unless it can be demonstrated that it would not have an adverse impact on the amenity of the adjacent dwelling. Where a proposal is close to a boundary, careful design will ensure that any impact on adjoining properties is minimised.
- 5.6 Permission will not be granted where a proposal would result in the distance between facing principle windows being less than 17m, unless there is substantial screening which will overcome any potential for overlooking. Where this rule applies, the potential for the facing property to extend will also be given consideration.



- 5.7 If a principal window to an extension would face a blank gable or elevation, a minimum distance of 9m should normally be achieved to ensure an appropriate level of amenity.
- 5.8 By limiting the length of extensions, adjoining properties will be protected from excessive over-shadowing. Orientation is an important factor when considering a proposal's impact on sunlight reaching neighbouring houses. Consideration should be given to size, location, ground levels and types of window within extensions, to ensure that the proposal does not create problems of overlooking. Where a proposal unavoidably necessitates windows which may cause overlooking, then the application should identify measures to remove that possibility, with details of screening by fences, trees or shrubs, the use of fixed obscure glazing or high level windows. If a proposal relates to a conservatory, any elevations adjacent to a boundary should be glazed with obscure glass or constructed as a solid wall or panel, unless there already exists substantial screening on the adjacent boundary that prevents overlooking.



- 5.9 Overshadowing caused by over sized extensions can adversely affect the amenity of adjoining occupiers through the loss of sunlight and day light.
- 5.10 Conservatories should be designed incorporating walls to adjacent dwellings and where appropriate obscure glazing to level 3 shall be used and any elevation facing adjacent properties should not include opening windows.

6.0 THE EFFECT OF THE EXTENSION ON THE STREET SCENE

- 6.1 The street scene is an important factor in the character of a residential area, generally formed from the appearance of the front of the houses and front garden sizes particularly where houses are in rows and of similar appearance. Potentially, certain types of development can be harmful to the appearance of a street:

- a) EXTENSIONS TO THE FRONT
- b) DORMER EXTENSIONS

a) EXTENSIONS TO THE FRONT

- 6.2 Extensions to the front of a dwelling can greatly change the appearance of a property and have an impact on the street scene in general. Therefore any extension to the front of a dwelling should be well designed, of an appropriate size, incorporate and continue any decorative detail, use matching materials and fit into its surroundings, enhancing not only the appearance of the dwelling itself, but also avoiding any detriment to the appearance of the general area.
- 6.3 Porches to the front elevation should be well designed so as to give the appearance of being an integral part of the main structure and not an inappropriate add on.
- 6.4 Conservatories will not normally be acceptable on prominent elevations fronting onto a highway.

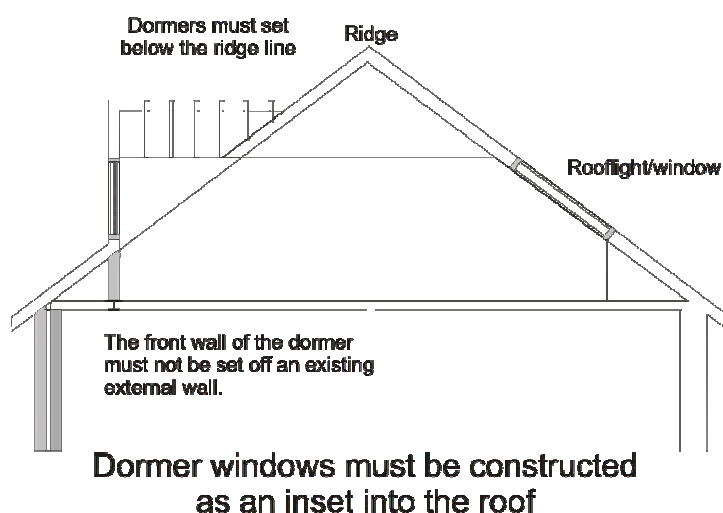


Extensions to the front of a dwelling can be visually intrusive in the street scene, especially when the extension is out of character with the adjacent properties and inappropriate materials used.

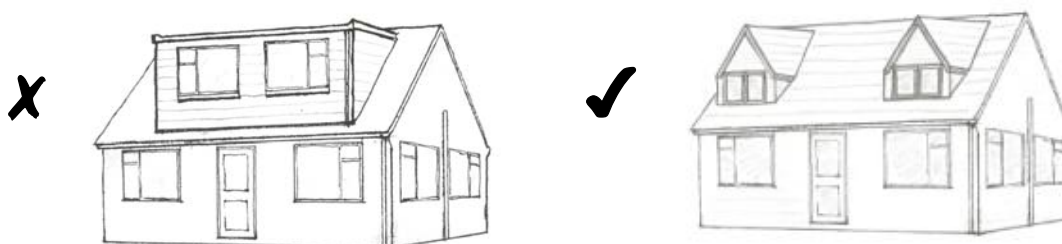


b) DORMER EXTENSIONS

- 6.5 The utilisation of existing roof space is one method of enlarging residential accommodation without incurring excessive costs or losing garden area. However, this often involves the construction of a dormer window to provide light and ventilation. All dormer extensions on an elevation facing a highway require planning permission. Because of their impact on the street scene, where possible they should be located to the rear or on a less prominent elevation. When choosing the location of the dormer care should be taken to ensure that it would not result in the loss of amenity to the occupiers of nearby properties.
- 6.7 The design of the dormer should reflect the character of the building, incorporating pitched roofs, matching materials and should be of a size so as not to be a dominating feature. Any dormers should be seen as an insert into the roof, and clearly not a continuation of any existing wall, and should be kept below the ridge line. The style of window should match and line up with those in the existing building, or be positioned so as not to look out of place.

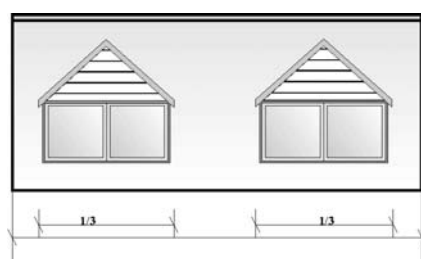
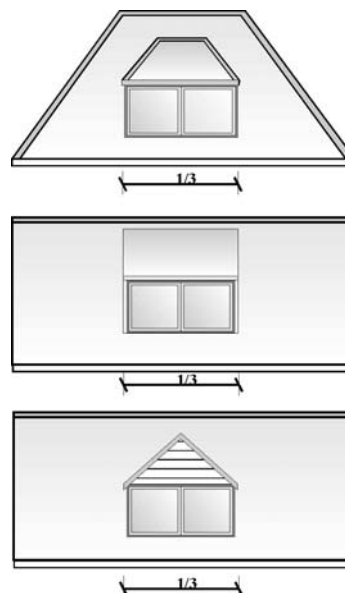


- 6.8 If a dormer extension is to be on the front or a prominent elevation, the maximum width of any dormer should not exceed one third of the length of the base of the roof plain which the dormer would be constructed. On a less prominent elevation, the width should not exceed two thirds of the base of the relevant roof plane and should not be in close proximity to an outside wall as this will not be considered acceptable. ([see Dormer Extension Sizes](#)).
- 6.9 Over-large dormer extensions which can dominate the street scene and detract from the visual appearance of the dwelling. Careful design of all aspects of a dormer including the size, openings and positioning can make a proposal acceptable.

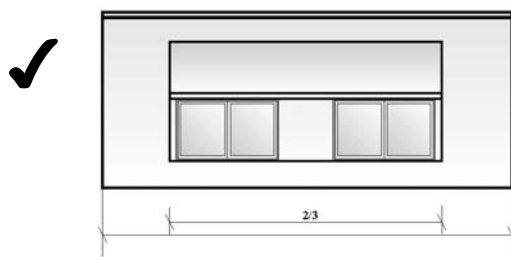


Dormer Sizes

The width of dormer extensions to the front, or on a prominent elevation, should not exceed one third of the base of the roof plane to which they are attached. Design of dormer windows should reflect the character of the building



On less prominent elevations the width of any dormer window should not exceed two thirds of length of the base of the roof plane to which it is attached.



- 6.10 Dormer windows that will adversely affect the appearance of a building will not be acceptable. This is most important where dormers are proposed on semi-detached dwelling where they would result in an unbalanced form.

7.0 OTHER CONSIDERATIONS

- 7.1 There are other matters which will need to be taken into consideration when designing an extension which will impact on the street scene.

WASTE CONTAINER STORAGE

- 7.2 The District Council is committed to re-cycle as much household waste as possible and has an active programme to achieve this. Through this programme each household has a number of waste containers which are kept on site. These containers can be unsightly in the street scene if stored on the front of the property, therefore any proposed extension should not prevent rear access to the dwelling in order that waste containers can be stored out of sight. If, for what ever reason this cannot be achieved, any proposals must

incorporate details of a bin storage area which should be discretely located within the site and adequately screened so as not to be detrimental to the street scene or the appearance of the dwelling. This can be achieved by the construction of an enclosure which should be screened from view through appropriate landscaping.

SECURITY

- 7.3 The most vulnerable areas for domestic properties are the sides and the rear. This is where extensions are often built and if not constructed to the appropriate standards they can become a security risk. Industry standards relating to the security of domestic doors (PAS 024) and windows (BS 7950) should be considered when extensions are built. In the case of conservatories as there are currently no security standards, it is important that doors and windows to the original dwelling within the conservatory are secure.
- 7.4 The design of single storey extensions in particular should be carefully considered from a security point of view. Flat roofs can compromise the security of a property by allowing access to first floor windows.
- 7.5 Further information on security considerations can be sought from the local Police Crime Reduction Officer on 01623 423150. In particular, where it is known that the construction of extensions (including garages) are not going to meet the industry standards outlined above it is recommended that further advice is sought.

OTHER CONSENTS/ BOUNDARIES, ETC.

- 7.6 In those cases where they are acceptable, if extension or even a separate garage is built up to the property boundary, this may involve foundations or guttering encroachment over the boundary. This may not be acceptable to your neighbour and means that you cannot build the extension without your neighbour's consent even if planning permission is granted. Alternatively, set the extension away from the boundary to avoid encroachment. If an extension is built on or close to the boundary, access from your neighbours' property may be needed to build your extension and maintain it in the future. This would be a private legal matter between you and your neighbour and emphasises the need to discuss your proposals with your neighbour before submitting an application.
- 7.7 Even when planning permission is granted, this does not affect your neighbour's rights under civil law to prevent the work from being carried out if it involves development on their land. An explanatory booklet entitled 'The Party Wall etc. Act 1996' published by the Department of Transport, Local Government and the Regions (DTLR), provides full information on your rights and duties under the Act.

EXTENSIONS FOR THE BENEFIT OF DISABLED PERSONS

- 7.8 The Local Planning Authority receives a number of applications of this type, which are to improve the standard of living of a disabled person or persons, whilst still allowing them to live in the familiar surroundings of their own home. There is an exemption from Planning fees for applications of this type. When accepting applications of this nature, the Local Planning Authority tests the application against criteria set out in the Town and Country Planning (Fees for Applications) Regulations 1997 which states that the extension shall be used solely for the benefit of the disabled person. This is interpreted as necessary adaptations, such as a downstairs bedroom or toilet/shower room.
- 7.9 For obvious reasons, the needs of individuals vary wildly, and in many cases, the necessary adaptations cannot be included in an extension that meets planning policy criteria. This is where the Local Planning Authority has to assess the application on the basis of the needs of that person, balanced against the standard criteria used when assessing domestic extensions.
- 7.10 If you are intending to submit an application on behalf of a disabled person, it may be worthwhile taking the following, as a guide for the nature and type of the extension.
- Single Bedroom 8.4 square metres;
 - Double Bedroom 10.2 square metres;
 - Bathrooms (Level Access Shower, Toilet and Wash Basin) 5 square metres .
- 7.11 All the above are internal floor area measurements. This is a minimum figure and may vary, for example, if a wheelchair turning area or hoist is required. It is advisable to contact the Planning Department to discuss any application before a submission is made.

EXTENSIONS IN THE COUNTRYSIDE

- 7.12 To ensure the protection of the countryside character, extensions in the countryside will need to comply with all the above criteria, but may also be restricted by limits set out in the relevant policy of the Mansfield District Local Plan. This policy does not remove permitted development rights under the Town and Country Planning (General Permitted Development) Order 1995. However, any extension undertaken as permitted development will not be in addition to the maximum permitted by local plan and will be taken into consideration in any future proposals.

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To obtain this information telephone 01623 463463

অনুরোধ সাপেক্ষে এই তথ্যটুকু পাঠক উপযুক্ত কোন আকারে এবং ভাষায় দেওয়া হবে।

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یہ معلومات گزارش کرنے پر دیگر صورتوں (سی ڈی، ٹیپ) اور زبانوں میں بھی دستیاب ہے۔

متبادل زبان یا متبادل صورت (سی ڈی، ٹیپ) میں یہ معلومات حاصل کرنے کے لیے
ٹیلیفون نمبر 01623 463463 پر فون کریں۔

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Mansfield District Council

Creating a District where People can Succeed